



Inspection Report

Older Home Sample

Property Address:
123 Older Home Lane
Charlotte, NC 28201



King Construction, Inc dba Inspector Paul

Paul King
PO Box 236 Fort Mill, SC 29716 / 704-467-7328
NC HI 1756 / SC RBI 1212 / ASHI Member 244121
NCLHIA-Member / IAQA-CIE / PAHI-President



Date: 1/1/2000	Time: 9:04 AM	Report ID: Older Home Sample
Property: 123 Older Home Lane Charlotte, NC 28201	Customer: Older Home Sample	Real Estate Professional:

This is a sample from an actual home inspection we performed on home constructed in the 1950's. Several pages of information, photos, actual address, clients name(s), etc have been changed or removed for confidentiality purposes. This sample report is the exclusive property of King Construction, Inc/ Inspector Paul, any attempts to print, copy, resell, or redistribute any portion of this report without the express written consent of King Construction, Inc. is prohibited and is subject to prosecution.

Age Of Home:
Over 25 Years

Client Is Present:
Yes

Radon Test:
No

Weather:
Cloudy

Temperature:
Over 65

Rain in last 3 days:
No

Structural Components

		IN	NI	NP	RR
1.0	FOUNDATIONS (Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components.)	X			X
1.1	WALLS (Structural)	X			X
1.2	COLUMNS OR PIERS	X			
1.3	FLOORS (Structural)	X			X
1.4	CEILINGS (structural)	X			
1.5	ROOF STRUCTURE AND ATTIC	X			X

Styles & Materials

FOUNDATION:
POURED CONCRETE
NOT VISIBLE

METHOD USED TO OBSERVE CRAWLSPACE:

CRAWLED
UNSAFE CONDITIONS
LIMITED ACCESS
CONSTRUCTION DEBRIS

FLOOR STRUCTURE:

WOOD JOISTS
SLAB

IN NI NP RR

WALL STRUCTURE:
NOT VISIBLE

COLUMNS OR PIERS:
BRICK PIERS
MASONRY BLOCK

CEILING STRUCTURE:
6" OR BETTER

ROOF STRUCTURE:
STICK-BUILT
RAFTERS
WOOD SLATS

ROOF-TYPE:
GABLE

ATTIC ACCESS:
PULL DOWN STAIRS
LIMITED ACCESS

IN=Inspected, NI=Not Inspected, NP=Not Present, RR=Repair or Replace

Comments:

1.0 Earth in much of the crawlspace has been dug out and removed up to the piers and walls. This can effect the integrity of the footings. Recommend a professional engineer evaluate further and repairs per their design.



1.0 Picture 1



1.0 Picture 2



1.0 Picture 3



1.0 Picture 4



1.0 Picture 5

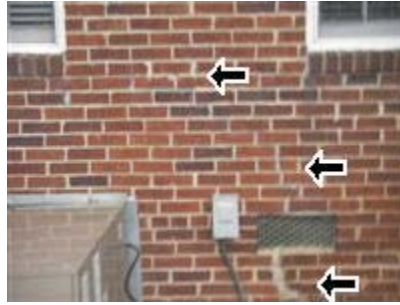
White efflorescence (powder substance) on block wall indicates moisture is in contact with masonry. This does not necessarily mean that intrusion will occur. Recommend checking gutters, downspout drain lines for proper operation. Also, a water proofing paint could be applied to interior side of block if necessary. Efflorescence is found on many homes without water intrusion occurring inside the home. But, it should alert you to the possibility that future steps may be needed.

1.1 Inspected a stair step crack on the rear of the home that runs from the ground (in two locations) through a window frame, and up to the eave. Inspected a stair step crack on the right side of the home that runs from the ground (under the deck) through the window and up to the eave. Evidence

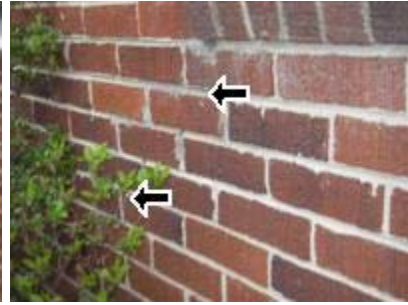
suggests the wall has shifted outward. Recommend further evaluation by a professional engineer and repairs per their design.



1.1 Picture 1



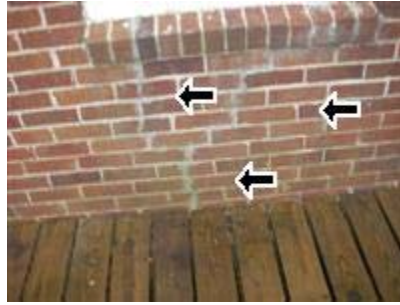
1.1 Picture 2



1.1 Picture 3



1.1 Picture 4



1.1 Picture 5



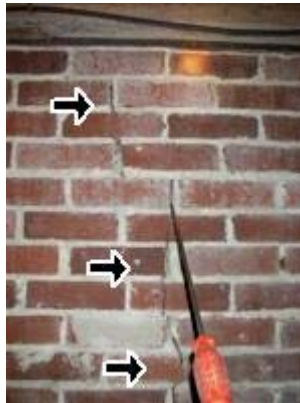
1.1 Picture 6



1.1 Picture 7



1.1 Picture 8



1.1 Picture 9

1.3 Doubled floor joist under the right side bath has been notched excessively in two locations by tradesman. Joist under the left side bath has been notched excessively by a tradesman. Repairs are needed. Recommend further evaluation and repair as needed by a qualified licensed general contractor.



1.3 Picture 1



1.3 Picture 2



1.3 Picture 3

Signs of mold is present on floor system in crawlspace in several areas. We did not inspect, test or determine if this mold is or is not a health hazard. The underlying cause is moisture. We will take sample of the substances or perform a mold inspection for an additional fee. Recommend further investigation and remediation as needed by a qualified licensed general contractor with a credible mold certification.



1.3 Picture 4

Sill under the kitchen door is deteriorated. Repairs are needed. Recommend further evaluation and repair as needed by a qualified licensed general contractor.



1.3 Picture 5

Construction debris, junk, old water heater, etc. needs removing from crawl. This is conducive to wood destroying insects, animals, etc. Recommend further evaluation and repair as needed by a qualified licensed general contractor.

1.5 Water stains from roof leaks were inspected in the valley on the rear right side of the home, on the front of the home above the front door area, and around a plumbing vent pipe on the rear of the home. Evidence suggests the valley rafter at the area of the leak is deteriorated. Recommend further evaluation and repair as needed by a qualified licensed general contractor.



1.5 Picture 1



1.5 Picture 2



1.5 Picture 3



1.5 Picture 4



1.5 Picture 5



1.5 Picture 6



1.5 Picture 7

Exterior

		IN	NI	NP	RR
2.0	WALL CLADDING FLASHING AND TRIM	X			
2.1	DOORS (Exterior)	X			X
2.2	WINDOWS	X			X
2.3	GARAGE DOOR OPERATORS (Report whether or not doors will reverse when met with resistance)			X	
2.4	DECKS, BALCONIES, STOOPS, STEPS, AREAWAYS, PORCHES AND APPLICABLE RAILINGS	X			X
2.5	VEGETATION, GRADING, DRAINAGE, DRIVEWAYS, PATIOS, WALKWAYS AND RETAINING WALLS (With respect to their effect on the condition of the building)	X			
2.6	EAVES, SOFFITS AND FASCIAS	X			X

Styles & Materials

SIDING STYLE:

LAP
BRICK

SIDING MATERIAL:

WOOD
VINYL
BRICK VENEER

EXTERIOR ENTRY DOORS:

WOOD
STEEL
SINGLE PANE
INSULATED GLASS

APPURTENANCE:

COVERED PORCH

AUTO OPENER MANUFACTURER:

N/A

GARAGE DOOR MATERIAL:

N/A

GARAGE DOOR TYPE:

N/A

DRIVEWAY:

ASPHALT

IN=Inspected, NI=Not Inspected, NP=Not Present, RR=Repair or Replace

Comments:

2.0 Wood siding at the covered porch should be sealed, stained, or painted to prevent deterioration.

2.1 Sliding door at the sunroom is cloudy/lost seal. Door at the kitchen has a pet access door installed. Crawlspace door will not stay closed, recommend repair to keep out animals. Recommend further evaluation and repair as needed by a qualified licensed general contractor.



2.1 Picture 1



2.1 Picture 2



2.1 Picture 3

2.2 Peeling paint, bare wood, and missing glazing at the exterior windows, repairs are needed to prevent deterioration. Recommend further evaluation and repair as needed by a qualified licensed general contractor.



2.2 Picture 1

Windows were not operated from the exterior of the home.

2.4 Stairs at the rear deck should have a handrail installed on both sides for safety. Recommend further evaluation and repair as needed by a qualified licensed general contractor.



2.4 Picture 1

2.5 Recommend trimming the shrubs back at least 12" from the siding to prevent water intrusion and damage. We could not inspect all of the siding and foundation due to the shrubbery growth.

2.6 Bare wood and peeling paint at the eaves, soffits and fascia needs prep, prime, and paint to prevent deterioration. Deteriorated eave on the front of the home at the right corner of the covered porch has been repaired with putty/caulk. Section of eave on the rear of the home, near the driveway, is missing wood this can allow pests/animals into the attic. Recommend further evaluation and repair as needed by a qualified licensed general contractor.



2.6 Picture 1



2.6 Picture 2



2.6 Picture 3

Roofing

		IN	NI	NP	RR
3.0	ROOF COVERINGS	X			X
3.1	FLASHINGS	X			X
3.2	SKYLIGHTS, CHIMNEYS AND ROOF PENETRATIONS	X			X
3.3	ROOFING DRAINAGE SYSTEMS	X			X

Styles & Materials

ROOF COVERING:

AGED
3-TAB

VIEWED ROOF COVERING FROM:
GROUND

SKY LIGHT (S):
NONE

CHIMNEY (exterior):
BRICK

IN=Inspected, NI=Not Inspected, NP=Not Present, RR=Repair or Replace

Comments:

3.0 Roof shingles are nearing the end of its life cycle and has been covered with tar at rear of home (over the sunroom). Due to a lack of recent rain we could not determine if the leaks have been corrected. Recommend a qualified licensed general contractor inspect and repair as needed.



3.0 Picture 1



3.0 Picture 2

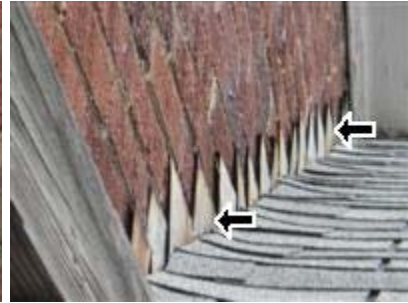
3.1 Chimney is not flashed properly. Chimney has been tarred around base. This area will need periodical maintenance. Recommend further evaluation and repair or replace as needed by a qualified licensed general contractor. Cap flashing at the roof sections over the porch and kitchen are not set back into the brick/mortar. Leaks can develop at the seams. Recommend further evaluation and repair or replace as needed by a qualified licensed general contractor.



3.1 Picture 1



3.1 Picture 2



3.1 Picture 3

3.2 Recommend installing a rain cap on the chimney to prevent water and animal intrusion. A cone shaped home made metal plumbing boot is installed above the roof line on the front of the home, recommend replacing with a standard boot to prevent leaks. Recommend further evaluation and repair as needed by a qualified licensed general contractor.



3.2 Picture 1



3.2 Picture 2

3.3 Gutter leaks at seam (s), are clogged, rusted, needs cleaning of debris, and has missing and loose downspouts at virtually all areas where gutters are installed. Gutters that drain poorly or clogged can lead to many costly problems such as deterioration of fascia, soffit or roof edge. It can also cause gutters to pull loose and lead to possible water intrusion. Recommend a qualified licensed general contractor inspect and repair as needed.



3.3 Picture 1



3.3 Picture 2



3.3 Picture 3



3.3 Picture 4



3.3 Picture 5



3.3 Picture 6



3.3 Picture 7

Plumbing System

		IN	NI	NP	RR
4.0	INTERIOR DRAIN, WASTE AND VENT SYSTEMS	X			X
4.1	INTERIOR WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES	X			X
4.2	HOT WATER SYSTEMS, CONTROLS, CHIMNEYS, FLUES AND VENTS	X			X
4.3	MAIN WATER SHUT-OFF DEVICE (Describe location)		X		
4.4	FUEL STORAGE AND DISTRIBUTION SYSTEMS (Interior fuel storage, piping, venting, supports, leaks)	X			X
4.5	SUMP PUMP		X		

Styles & Materials

PLUMBING SUPPLY:
GALVANIZED (OLD)

PLUMBING DISTRIBUTION:
COPPER

PLUMBING WASTE:
PVC
CAST IRON (OLD)

WASHER DRAIN SIZE:
2" DIAMETER

WATER HEATER POWER SOURCE:
ELECTRIC

CAPACITY:
47 GAL

MANUFACTURER:
GE

IN=Inspected, NI=Not Inspected, NP=Not Present, RR=Repair or Replace

Comments:

4.0 Toilet is loose at floor and run continuously in the right hall bath. Repairs are needed to prevent the toilet from leaking, a new wax seal may be needed. Stopper at the jetted tub does not function (we could not fill the tub and check the jets for proper operation). Recommend a qualified licensed plumber repair or correct as needed. Plumbing vent pipe is disconnected in the attic this can allow sewer gasses to vent into the attic. Recommend a qualified licensed plumber repair or correct as needed.



4.0 Picture 1

4.1 Old galvanized supply line will rust from the inside and most likely need replacement in the near future from the meter to the crawlspace. We could not determine if the buried pipe has rusted to the point where replacement is needed. Recommend a qualified licensed plumber repair or correct as

needed.



4.1 Picture 1

4.2 Water heater is sitting on the ground in the crawlspace, this can lead to rusting at the base. Water heater T&P valve needs a 3/4" pipe installed to within 6" of the ground for safety. Recommend further evaluation and repair as needed by a qualified licensed plumbing contractor. Wiring for water heater was spliced outside of panel. Electrical issues are considered a hazard until repaired. Recommend a licensed electrician correct as necessary.



4.2 Picture 1



4.2 Picture 2



4.2 Picture 3

4.3 The main shut off is the knob located underneath in crawlspace. This is for your information.



4.3 Picture 1

4.4 Gas Tracer (device) indicated several leaks at meter outside. This is a safety issue and should be repaired. Recommend a qualified professional from the gas company or licensed plumber who is certified in gas line installation and repair inspect further and repair as needed. Evidence suggests an oil barrel remains in ground. We did not inspect condition of barrel or soil. Recommend a qualified licensed UST company inspect further and correct as needed. Gas piping to the gas pack does not have an on/off valve or a drip leg installed. Recommend a qualified professional from the gas company or licensed plumber who is certified in gas line installation and repair inspect further and repair as needed.



4.4 Picture 1



4.4 Picture 2



4.4 Picture 3



4.4 Picture 4

4.5 Sump; pump was not plugged in, could not be inspected.



4.5 Picture 1

Electrical System

		IN	NI	NP	RR	
5.0	SERVICE ENTRANCE CONDUCTORS	X			X	Styles & Materials ELECTRICAL SERVICE CONDUCTORS: OVERHEAD SERVICE ALUMINUM 220 VOLTS PANEL CAPACITY: 200 AMP PANEL TYPE: CIRCUIT BREAKERS ELEC. PANEL MANUFACTURER: GENERAL ELECTRIC BRANCH WIRE 15 and 20 AMP: COPPER WIRING METHODS: ROMEX CONDUIT
5.1	SERVICE AND GROUNDING EQUIPMENT, MAIN OVERCURRENT DEVICE, MAIN AND DISTRIBUTION PANELS	X			X	
5.2	BRANCH CIRCUIT CONDUCTORS, OVERCURRENT DEVICES AND COMPATIBILITY OF THEIR AMPERAGE AND VOLTAGE	X			X	
5.3	CONNECTED DEVICES AND FIXTURES (Observed from a representative number operation of ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls)	X			X	
5.4	POLARITY AND GROUNDING OF RECEPTACLES WITHIN 6 FEET OF INTERIOR PLUMBING FIXTURES, AND ALL RECEPTACLES IN GARAGE, CARPORT, EXTERIOR WALLS OF INSPECTED STRUCTURE	X			X	
5.5	OPERATION OF GFCI (GROUND FAULT CIRCUIT INTERRUPTERS)	X			X	
5.6	LOCATION OF MAIN AND DISTRIBUTION PANELS	X				
5.7	SMOKE DETECTORS	X			X	

IN=Inspected, NI=Not Inspected, NP=Not Present, RR=Repair or Replace

Comments:

5.0 Electrical service conductors clearance (outside) from driveway may be lower than 15 feet, runs through a tree, and needs correcting for safety. Recommend further evaluation and repair as needed by a qualified licensed electrical contractor.





5.0 Picture 1

5.0 Picture 2

5.1 Problem(s) discovered in panel such as Knock-outs missing on panel, Improper size/gauge wiring, and breakers are poorly marked and any other problems that an electrician may discover while performing repairs need correcting. Recommend a licensed electrician inspect further and correct as needed.



5.1 Picture 1

5.2 Evidence suggests the motor for the jetted tub is not GFCI protected (safety hazard). Recommend further evaluation and repair as needed by a qualified licensed electrical contractor.

5.3 Inspected a spliced electrical line in the kitchen cabinet. Outlets missing coverplates are unsafe. All there pronged electrical outlets in the home have open ground lines. Exterior light at the kitchen door does not respond to operating controls. Ceiling fan in the sunroom wobbles/out of balance. Light in the laundry closet did not respond to operating controls. Located several electrical lines in the crawlspace that are spliced improperly and/or the sheathing is deteriorated or the line is dangling loose including beside the water heater, along the front of the home, under the kitchen area. All electrical issues should be considered safety hazards. Recommend further evaluation and repair as needed by a qualified licensed electrical contractor.



5.3 Picture 1



5.3 Picture 2



5.3 Picture 3



5.3 Picture 4



5.3 Picture 5



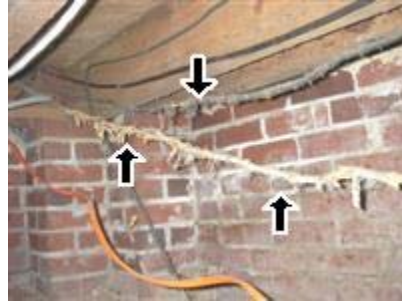
5.3 Picture 6



5.3 Picture 7



5.3 Picture 8



5.3 Picture 9

No outlets are installed in the right side bath.

5.4 Outlets in the kitchen and bathroom have open ground lines (safety hazard). Recommend further evaluation and repair as needed by a qualified licensed electrical contractor.

5.5 GFCI (Ground Fault Circuit Interrupter) outlet at left side bath wont "Trip" when tested. Electrical issues are considered a hazard until repaired. Recommend a qualified licensed electrician inspect further and correct as needed



5.5 Picture 1

Outlets in the kitchen and bathroom are not GFCI protected. You should consider upgrading for safety. Recommend further evaluation and repair as needed by a qualified licensed electrical contractor.

5.6 Main panel box is located at outside.

5.7 Smoke detector in the kitchen does not respond to operating controls. Smoke detector in the hall has been dis assembled. Recommend further evaluation and repair as needed by a qualified licensed general contractor. Recommend installing a smoke detector in every bedroom and hallways.

Heating

		IN	NI	NP	RR	Styles & Materials
6.0	HEATING EQUIPMENT	X			X	HEAT TYPE: FORCED AIR
6.1	NORMAL OPERATING CONTROLS	X				ENERGY SOURCE: GAS
6.2	CHIMNEYS, FLUES AND VENTS	X			X	NUMBER OF HEAT SYSTEMS (excluding wood): ONE
6.3	SOLID FUEL HEATING DEVICES	X				HEAT SYSTEM BRAND:
		IN	NI	NP	RR	

		IN	NI	NP	RR
6.4	HEAT DISTRIBUTION SYSTEMS (including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units and convectors)	X			X
6.5	GAS/LP FIRELOGS AND FIREPLACES		X		
6.6	PRESENCE OF INSTALLED HEAT SOURCE IN EACH ROOM	X			

ARMSTRONG

DUCTWORK:
INSULATED
And
NON-INSULATED

FILTER TYPE:
DISPOSABLE

EST. FILTER SIZE:
20x25

TYPES OF FIREPLACES:
CONVENTIONAL
VENTED GAS LOGS

OPERABLE FIREPLACES:
ONE

IN=Inspected, NI=Not Inspected, NP=Not Present, RR=Repair or Replace

Comments:

6.0 Wall unit heaters can be a fire hazard if not correctly installed. Recommend a qualified licensed electrician ensure the unit is installed to the manufacturer's specifications and functioning properly. Further information is available at <http://www.cpsc.gov/LIBRARY/FOIA/FOIA02/os/fpheater.pdf>

6.2 Fireplace flue was dirty with creosote and could not be fully inspected. The National Fire Protection Association recommends cleaning and a level 2 inspection of all fireplaces, this is beyond the scope of a home inspectors capabilities. Recommend a qualified reputable certified chimney guild clean, inspect, and repair as needed.



6.2 Picture 1

6.4 HVAC supply in the kitchen vents into the underside of the sink base. Some air flows into the kitchen and some flows into the sink base. Recommend further evaluation and repair as needed by a qualified licensed HVAC contractor.



6.4 Picture 1

Filter is located in the crawlspace and is missing a cover to seal the system(see photo) Recommend further evaluation and repair as needed by a qualified licensed HVAC contractor.



6.4 Picture 2

6.5 We did not inspect the gas logs, the pilot was not lit. We do not light pilots for safety.

Central Air Conditioning

		IN	NI	NP	RR
7.0	COOLING AND AIR HANDLER EQUIPMENT	X			X
7.1	NORMAL OPERATING CONTROLS	X			
7.2	DISTRIBUTION SYSTEMS (including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units and convectors)	X			
7.3	PRESENCE OF INSTALLED COOLING SOURCE IN EACH ROOM	X			

Styles & Materials

COOLING EQUIPMENT TYPE:
AIR CONDITIONER UNIT

COOLING EQUIPMENT ENERGY SOURCE:
ELECTRICITY

CENTRAL AIR MANUFACTURER:
ARMSTRONG

NUMBER OF A/C UNITS:
ONE

IN NI NP RR

IN=Inspected, NI=Not Inspected, NP=Not Present, RR=Repair or Replace

Comments:

7.0 Shrub growing against the air handler should be removed to allow the unit proper air flow.

7.3 Sun room has no HVAC supply.

Interiors

		IN	NI	NP	RR
8.0	CEILINGS	X			
8.1	WALLS	X			
8.2	FLOORS	X			
8.3	STEPS, STAIRWAYS, BALCONIES AND RAILINGS			X	
8.4	COUNTERS AND A REPRESENTATIVE NUMBER OF CABINETS	X			X
8.5	DOORS (REPRESENTATIVE NUMBER)	X			
8.6	WINDOWS (REPRESENTATIVE NUMBER)	X			X

Styles & Materials

CEILING MATERIALS:
SHEETROCK
CEILING TILE
WOOD

WALL MATERIAL:
SHEETROCK
WOOD
BRICK

FLOOR COVERING(S):
TILE
WOOD
CEMENT

INTERIOR DOORS:
HOLLOW CORE

WINDOW TYPES:
AGED
THERMAL/INSULATED
SINGLE-HUNG

WINDOW MANUFACTURER:
UNKNOWN

CABINETRY:
LAMINATE

COUNTERTOP:
LAMINATE

IN NI NP RR

IN=Inspected, NI=Not Inspected, NP=Not Present, RR=Repair or Replace

Comments:

8.4 Sink base in the right side bath is not secured in place, movement of the base can create leaks at the plumbing pipes. Recommend further evaluation and repair as needed by a qualified licensed general contractor.

8.6 Several of the single pane windows throughout the home are stuck/painted shut. This is a fire safety hazard and should be corrected. Window on the front wall in the sunroom has no lock hardware. Recommend further evaluation and repair as needed by a qualified licensed general contractor.



8.6 Picture 1

Insulation and Ventilation

		IN	NI	NP	RR
9.0	INSULATION AND VAPOR RETARDERS (in unfinished spaces)	X			X
9.1	VENTILATION OF ATTIC AND FOUNDATION AREAS	X			
9.2	VENTING SYSTEMS (Kitchens, baths and laundry)	X			X
9.3	VENTILATION FANS AND THERMOSTATIC CONTROLS (ATTIC)	X			

IN NI NP RR

IN=Inspected, NI=Not Inspected, NP=Not Present, RR=Repair or Replace

Styles & Materials

ATTIC INSULATION:

BATT
FIBERGLASS

R- VALUE:

BELOW R-19

VENTILATION:

GABLE VENTS

EXHAUST FAN TYPES:

FAN

DRYER POWER SOURCE:

220 ELECTRIC

DRYER VENT:

FLEXIBLE VINYL

Comments:

9.0 Vapor barrier (plastic) on crawlspace ground is not installed. A vapor barrier provides added protection to floor system from moisture or dampness that can enter from ground. Recommend a qualified licensed general contractor inspect and repair as needed. Insulation is old and has settled, and less than six inches in thickness remains. in attic. Heat loss can occur more on this home than one that is properly insulated. Recommend adding insulation. Insulation is not installed in crawlspace. Heat loss can occur more on this home than one that is properly insulated. Recommend installing insulation.

9.2 Exhaust fan did not work at Right Hall Bath. The window will not open as well. Bathrooms should have at least one working form of exterior ventilation. Recommend a qualified licensed general/electrical contractor inspect and repair as needed.

Built-In Kitchen Appliances

		IN	NI	NP	RR
10.0	DISHWASHER	X			X
10.1	RANGES/OVENS/COOKTOPS	X			X
10.2	RANGE HOOD	X			
10.3	TRASH COMPACTOR			X	
10.4	FOOD WASTE DISPOSER			X	
10.5	MICROWAVE COOKING EQUIPMENT			X	

IN NI NP RR

IN=Inspected, NI=Not Inspected, NP=Not Present, RR=Repair or Replace

Styles & Materials

DISHWASHER:

GENERAL ELECTRIC

DISPOSER:

NONE

EXHAUST/RANGE HOOD:

RE-CIRCULATE
BROAN

RANGE/OVEN:

MAYTAG

BUILT-IN MICROWAVE:

NONE

TRASH COMPACTORS:

NONE

Comments:

10.0 Dishwasher drain hose did not perform a loop to create a trap under sink. A back up in the kitchen drain could fill the dishwasher with water. Recommend further evaluation and repair as needed by a qualified licensed appliance repair company.



10.0 Picture 1

10.1 Anti tip device for oven is not installed. Most manufacturers provide anti tip devices and require it to be installed for safety. Recommend a qualified appliance repair person correct as needed.

Prepared Using HomeGauge <http://www.homegauge.com> SHGI (c) 2000-2004 : Licensed To King Construction, Inc dba Inspector Paul

General Summary



King Construction, Inc dba Inspector Paul

**PO Box 236 Fort Mill, SC 29716 / 704-467-7328
NC HI 1756 / SC RBI 1212 / ASHI Member 244121
NCLHIA-Member / IAQA-CIE / PAHI-President**

Customer

Older Home Sample

Property Address

123 Older Home Lane
Charlotte, NC 28201

The items or discoveries listed in the General Summary indicate that these systems or components do not function as intended or adversely affects the habitability of the dwelling; or appear to warrant further investigation by a specialist, or requires subsequent observation. UNLESS OTHERWISE NOTED, FURTHER EVALUATION, INSPECTION, AND REPAIR(S) OF ANY COMPONENTS NOTED ON THIS INSPECTION/REPORT SHOULD BE PERFORMED BY LICENSED GENERAL CONTRACTORS, HIRED BY THE BUYER, PRIOR TO THE CLOSE OF ESCROW. If any component that has two or more defects we strongly recommend that the entire system in question be evaluated, inspected, and repaired by the appropriate licensed contractor before the close of escrow. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function, efficiency, or safety of the home. **This Summary is not the entire report. The complete report may include additional information of concern to the client. It is recommended that the client read the complete report.** Unless otherwise noted, all directional information is from the front yard facing the home.

Structural Components

1.0 FOUNDATIONS (Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components.)

Inspected, Repair or Replace

Earth in much of the crawlspace has been dug out and removed up to the piers and walls. This can effect the integrity of the footings. Recommend a professional engineer evaluate further and repairs per their design.

1.1 WALLS (Structural)

Inspected, Repair or Replace

Inspected a stair step crack on the rear of the home that runs from the ground (in two locations) through a window frame, and up to the eave. Inspected a stair step crack on the right side of the home that runs from the ground (under the deck) through the window and up to the eave. Evidence suggests the wall has shifted outward. Recommend further evaluation by a professional engineer and repairs per their design.

1.3 FLOORS (Structural)

Inspected, Repair or Replace

Doubled floor joist under the right side bath has been notched excessively in two locations by tradesman. Joist under the left side bath has been notched excessively by a tradesman. Repairs are needed. Recommend further evaluation and repair as needed by a qualified licensed general contractor.

Signs of mold is present on floor system in crawlspace in several areas. We did not inspect, test or determine if this mold is or is not a health hazard. The underlying cause is moisture. We will take sample of the substances or perform a mold inspection for an additional fee. Recommend further investigation and remediation as needed by a qualified licensed general contractor with a credible mold certification.

Sill under the kitchen door is deteriorated. Repairs are needed. Recommend further evaluation and repair as needed by a qualified licensed general contractor.

Construction debris, junk, old water heater, etc. needs removing from crawl. This is conducive to wood destroying insects, animals, etc. Recommend further evaluation and repair as needed by a qualified licensed general contractor.

1.5 ROOF STRUCTURE AND ATTIC

Inspected, Repair or Replace

Water stains from roof leaks were inspected in the valley on the rear right side of the home, on the front of the home above the front door area, and around a plumbing vent pipe on the rear of the home. Evidence suggests the valley rafter at the area of the leak is deteriorated. Recommend further evaluation and repair as needed by a qualified licensed general contractor.

Exterior

2.1 DOORS (Exterior)

Inspected, Repair or Replace

Sliding door at the sunroom is cloudy/lost seal. Door at the kitchen has a pet access door installed. Crawlspace door will not stay closed, recommend repair to keep out animals. Recommend further evaluation and repair as needed by a qualified licensed general contractor.

2.2 WINDOWS

Inspected, Repair or Replace

Peeling paint, bare wood, and missing glazing at the exterior windows, repairs are needed to prevent deterioration. Recommend further evaluation and repair as needed by a qualified licensed general contractor.

2.4 DECKS, BALCONIES, STOOPS, STEPS, AREAWAYS, PORCHES AND APPLICABLE RAILINGS

Inspected, Repair or Replace

Stairs at the rear deck should have a handrail installed on both sides for safety. Recommend further evaluation and repair as needed by a qualified licensed general contractor.

2.6 EAVES, SOFFITS AND FASCIAS

Inspected, Repair or Replace

Bare wood and peeling paint at the eaves, soffits and fascia needs prep, prime, and paint to prevent deterioration. Deteriorated eave on the front of the home at the right corner of the covered porch has been repaired with putty/caulk. Section of eave on the rear of the home, near the driveway, is missing wood this can allow pests/animals into the attic. Recommend further evaluation and repair as needed by a qualified licensed general contractor.

Roofing

3.0 ROOF COVERINGS

Inspected, Repair or Replace

Roof shingles are nearing the end of its life cycle and has been covered with tar at rear of home (over the sunroom). Due to a lack of recent rain we could not determine if the leaks have been corrected. Recommend a qualified licensed general contractor inspect and repair as needed.

3.1 FLASHINGS

Inspected, Repair or Replace

Chimney is not flashed properly. Chimney has been tarred around base. This area will need periodical maintenance. Recommend further evaluation and repair or replace as needed by a qualified licensed general contractor. Cap flashing at the roof sections over the porch and kitchen are not set back into the brick/mortar. Leaks can develop at the seams. Recommend further evaluation and repair or replace as needed by a qualified licensed general contractor.

3.2 SKYLIGHTS, CHIMNEYS AND ROOF PENETRATIONS

Inspected, Repair or Replace

Recommend installing a rain cap on the chimney to prevent water and animal intrusion. A cone shaped home made metal plumbing boot is installed above the roof line on the front of the home, recommend replacing with a standard boot to prevent leaks. Recommend further evaluation and repair as needed by a qualified licensed general contractor.

3.3 ROOFING DRAINAGE SYSTEMS

Inspected, Repair or Replace

Gutter leaks at seam (s), are clogged, rusted, needs cleaning of debris, and has missing and loose downspouts at virtually all areas where gutters are installed. Gutters that drain poorly or clogged can lead to many costly problems such as deterioration of fascia, soffit or roof edge. It can also cause gutters to pull loose and lead to possible water intrusion. Recommend a qualified licensed general contractor inspect and repair as needed.

Plumbing System**4.0 INTERIOR DRAIN, WASTE AND VENT SYSTEMS****Inspected, Repair or Replace**

Toilet is loose at floor and run continuously in the right hall bath. Repairs are needed to prevent the toilet from leaking, a new wax seal may be needed. Stopper at the jetted tub does not function (we could not fill the tub and check the jets for proper operation). Recommend a qualified licensed plumber repair or correct as needed. Plumbing vent pipe is disconnected in the attic this can allow sewer gasses to vent into the attic. Recommend a qualified licensed plumber repair or correct as needed.

4.1 INTERIOR WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES**Inspected, Repair or Replace**

Old galvanized supply line will rust from the inside and most likely need replacement in the near future from the meter to the crawlspace. We could not determine if the buried pipe has rusted to the point where replacement is needed. Recommend a qualified licensed plumber repair or correct as needed.

4.2 HOT WATER SYSTEMS, CONTROLS, CHIMNEYS, FLUES AND VENTS**Inspected, Repair or Replace**

Water heater is sitting on the ground in the crawlspace, this can lead to rusting at the base. Water heater T&P valve needs a 3/4" pipe installed to within 6" of the ground for safety. Recommend further evaluation and repair as needed by a qualified licensed plumbing contractor. Wiring for water heater was spliced outside of panel. Electrical issues are considered a hazard until repaired. Recommend a licensed electrician correct as necessary.

4.4 FUEL STORAGE AND DISTRIBUTION SYSTEMS (Interior fuel storage, piping, venting, supports, leaks)**Inspected, Repair or Replace**

Gas Tracer (device) indicated several leaks at meter outside. This is a safety issue and should be repaired. Recommend a qualified professional from the gas company or licensed plumber who is certified in gas line installation and repair inspect further and repair as needed. Evidence suggests an oil barrel remains in ground. We did not inspect condition of barrel or soil. Recommend a qualified licensed UST company inspect further and correct as needed. Gas piping to the gas pack does not have an on/off valve or a drip leg installed. Recommend a qualified professional from the gas company or licensed plumber who is certified in gas line installation and repair inspect further and repair as needed.

Electrical System**5.0 SERVICE ENTRANCE CONDUCTORS****Inspected, Repair or Replace**

Electrical service conductors clearance (outside) from driveway may be lower than 15 feet, runs through a tree, and needs correcting for safety. Recommend further evaluation and repair as needed by a qualified licensed electrical contractor.

5.1 SERVICE AND GROUNDING EQUIPMENT, MAIN OVERCURRENT DEVICE, MAIN AND DISTRIBUTION PANELS**Inspected, Repair or Replace**

Problem(s) discovered in panel such as Knock-outs missing on panel, Improper size/gauge wiring, and breakers are poorly marked and any other problems that an electrician may discover while performing repairs need correcting. Recommend a licensed electrician inspect further and correct as needed.

5.2 BRANCH CIRCUIT CONDUCTORS, OVERCURRENT DEVICES AND COMPATIBILITY OF THEIR AMPERAGE AND VOLTAGE**Inspected, Repair or Replace**

Evidence suggests the motor for the jetted tub is not GFCI protected (safety hazard). Recommend further evaluation and repair as needed by a qualified licensed electrical contractor.

5.3 CONNECTED DEVICES AND FIXTURES (Observed from a representative number operation of ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls)

Inspected, Repair or Replace

Inspected a spliced electrical line in the kitchen cabinet. Outlets missing coverplates are unsafe. All there pronged electrical outlets in the home have open ground lines. Exterior light at the kitchen door does not respond to operating controls. Ceiling fan in the sunroom wobbles/out of balance. Light in the laundry closet did not respond to operating controls. Located several electrical lines in the crawlspace that are spliced improperly and/or the sheathing is deteriorated or the line is dangling loose including beside the water heater, along the front of the home, under the kitchen area. All electrical issues should be considered safety hazards. Recommend further evaluation and repair as needed by a qualified licensed electrical contractor.

5.4 POLARITY AND GROUNDING OF RECEPTACLES WITHIN 6 FEET OF INTERIOR PLUMBING FIXTURES, AND ALL RECEPTACLES IN GARAGE, CARPORT, EXTERIOR WALLS OF INSPECTED STRUCTURE

Inspected, Repair or Replace

Outlets in the kitchen and bathroom have open ground lines (safety hazard). Recommend further evaluation and repair as needed by a qualified licensed electrical contractor.

5.5 OPERATION OF GFCI (GROUND FAULT CIRCUIT INTERRUPTERS)

Inspected, Repair or Replace

GFCI (Ground Fault Circuit Interrupter) outlet at left side bath wont "Trip" when tested. Electrical issues are considered a hazard until repaired. Recommend a qualified licensed electrician inspect further and correct as needed

5.7 SMOKE DETECTORS

Inspected, Repair or Replace

Smoke detector in the kitchen does not respond to operating controls. Smoke detector in the hall has been dis assembled. Recommend further evaluation and repair as needed by a qualified licensed general contractor.

Heating

6.0 HEATING EQUIPMENT

Inspected, Repair or Replace

Wall unit heaters can be a fire hazard if not correctly installed. Recommend a qualified licensed electrician ensure the unit is installed to the manufacturer's specifications and functioning properly. Further information is available at <http://www.cpssc.gov/LIBRARY/FOIA/FOIA02/os/fpheater.pdf>

6.2 CHIMNEYS, FLUES AND VENTS

Inspected, Repair or Replace

Fireplace flue was dirty with creosote and could not be fully inspected. The National Fire Protection Association recommends cleaning and a level 2 inspection of all fireplaces, this is beyond the scope of a home inspectors capabilities. Recommend a qualified reputable certified chimney guild clean, inspect, and repair as needed.

6.4 HEAT DISTRIBUTION SYSTEMS (including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units and convectors)

Inspected, Repair or Replace

HVAC supply in the kitchen vents into the underside of the sink base. Some air flows into the kitchen and some flows into the sink base. Recommend further evaluation and repair as needed by a qualified licensed HVAC contractor.

Filter is located in the crawlspace and is missing a cover to seal the system(see photo) Recommend further evaluation and repair as needed by a qualified licensed HVAC contractor.

Central Air Conditioning

7.0 COOLING AND AIR HANDLER EQUIPMENT

Inspected, Repair or Replace

Shrub growing against the air handler should be removed to allow the unit proper air flow.

Interiors**8.4 COUNTERS AND A REPRESENTATIVE NUMBER OF CABINETS****Inspected, Repair or Replace**

Sink base in the right side bath is not secured in place, movement of the base can create leaks at the plumbing pipes. Recommend further evaluation and repair as needed by a qualified licensed general contractor.

8.6 WINDOWS (REPRESENTATIVE NUMBER)**Inspected, Repair or Replace**

Several of the single pane windows throughout the home are stuck/painted shut. This is a fire safety hazard and should be corrected. Window on the front wall in the sunroom has no lock hardware. Recommend further evaluation and repair as needed by a qualified licensed general contractor.

Insulation and Ventilation**9.0 INSULATION AND VAPOR RETARDERS (in unfinished spaces)****Inspected, Repair or Replace**

Vapor barrier (plastic) on crawlspace ground is not installed. A vapor barrier provides added protection to floor system from moisture or dampness that can enter from ground. Recommend a qualified licensed general contractor inspect and repair as needed.

9.2 VENTING SYSTEMS (Kitchens, baths and laundry)**Inspected, Repair or Replace**

Exhaust fan did not work at Right Hall Bath. The window will not open as well. Bathrooms should have at least one working form of exterior ventilation. Recommend a qualified licensed general/electrical contractor inspect and repair as needed.

Built-In Kitchen Appliances**10.0 DISHWASHER****Inspected, Repair or Replace**

Dishwasher drain hose did not perform a loop to create a trap under sink. A back up in the kitchen drain could fill the dishwasher with water. Recommend further evaluation and repair as needed by a qualified licensed appliance repair company.

10.1 RANGES/OVENS/COOKTOPS**Inspected, Repair or Replace**

Anti tip device for oven is not installed. Most manufacturers provide anti tip devices and require it to be installed for safety. Recommend a qualified appliance repair person correct as needed.

Prepared Using HomeGauge <http://www.homegauge.com> SHGI (c) 2000-2004 : Licensed To King Construction, Inc dba Inspector Paul